

EAGLE RIVER OVERLAY DISTRICT

Draft May 30, 2008 AO #

**AN ORDINANCE Establishing a DOWNTOWN EAGLE RIVER OVERLAY ZONE
PURSUANT to Anchorage Ordinance 21.20.140**

WHEREAS, Eagle River residents find that B3 Zoning fails to take into account the growing community's desire for a cohesive town center as described in the Eagle River Central Business District Revitalization Plan (October 2003);

WHEREAS, after months of public discussion and consideration initiated by the Chugiak-Eagle River Chamber of Commerce's Board of Directors, a Dittman Poll (November 2006) found that Eagle River and Chugiak area residents support zoning changes in the old downtown if existing uses are grandfathered:

- 70% of local residents support “restricting or prohibiting certain types of businesses”
 - 80% of residents support the “limiting of commercial building heights to four stories”
 - 83% of residents support “more landscaping and pedestrian improvements”
 - 86% of residents support “defining areas with timber features, planters and decorative paving”

WHEREAS, the Chugiak-Eagle River Chamber of Commerce Board approved a resolution requesting the Anchorage Assembly approve and adopt a Downtown Overlay Zone (April 2007); now, therefore,

BE IT ORDAINED

- A. DOWNTOWN EAGLE RIVER OVERLAY ZONE shall be established for the area identified on the overlay district map, included herewith.
 - B. Intent: This ordinance sets forth prohibited land uses and special requirements within the Overlay Zone in order to achieve the following community goals:
 - 1) Create a cohesive town center;
 - 2) foster a sense of place as a unique, vibrant business district and community center;
 - 3) Maintain a small-town character consistent with community values expressed through community meetings, and

45 4) Promote incremental improvements in a manner that encourages business
46 development and investment without creating additional costs or undue
47 hardship to existing uses and businesses.
48

49 The following changes to Anchorage Municipal Code, Title 21, are effective within the
50 boundaries of the Eagle River Overlay District, as defined by the Overlay district map.
51

52 Underlined and highlighted text indicates text added to existing Title 21 Language.
53

54 Text highlighted in gray with strikethrough indicates text deleted from Title 21.
55

56 **Changes to 21.40.130 R-O residential-office district**

57 **Amend Section 21.40.130, Para. D, Conditional Uses. Add the following:**

60 10. Storage of equipment limited to four pieces used for providing essential
61 services needed within the Overlay District to include snow plowing, snow removal,
62 parking lot clearing and property maintenance. All equipment storage areas shall be
63 screened in accordance with the design standards section.

64 **Amend Section 21.40.130, Para. E, Prohibited Uses and Structures to add the**
65 **following:**

- 66 3. Vehicle Sales and Rental, which includes outdoor display of motor vehicles
- 67 4. Self-Storage Facilities, which includes outdoor storage of fully operable
68 vehicles.
- 69 5. Mobile Home or Manufactured House Display Lot
- 70 6. Natural Resource Extraction
- 71 7. Camper Park

72 **Amend Section 21.40.130, Para. F-4**

73 4. Apartment buildings for 11 or more families may only be constructed on sites
74 having a minimum area of 14,000 square feet and minimum frontage of 100 feet on a
75 class I or greater street, ~~and shall be limited by a floor area ratio (F.A.R.) of 2.0 and~~
76 ~~shall be subject to the yard requirements of this section. For purposes of this~~
77 ~~subsection, floor area ratio is defined as the maximum gross floor area of a building on~~
78 ~~a lot or parcel, divided by the area of the lot or parcel. One hundred percent (100%) of~~
79 ~~any area completely below grade and used exclusively for required vehicle parking~~
80 ~~and loading shall not be included in determining floor area ratio. A floor area ratio of~~
81 ~~2.0 provides for 28,000 gross square feet of building area on a lot with an area of~~
82 ~~14,000 square feet.~~

83 **Amend Section 21.40.130, Para. I, Maximum Height of Structures as follows:**

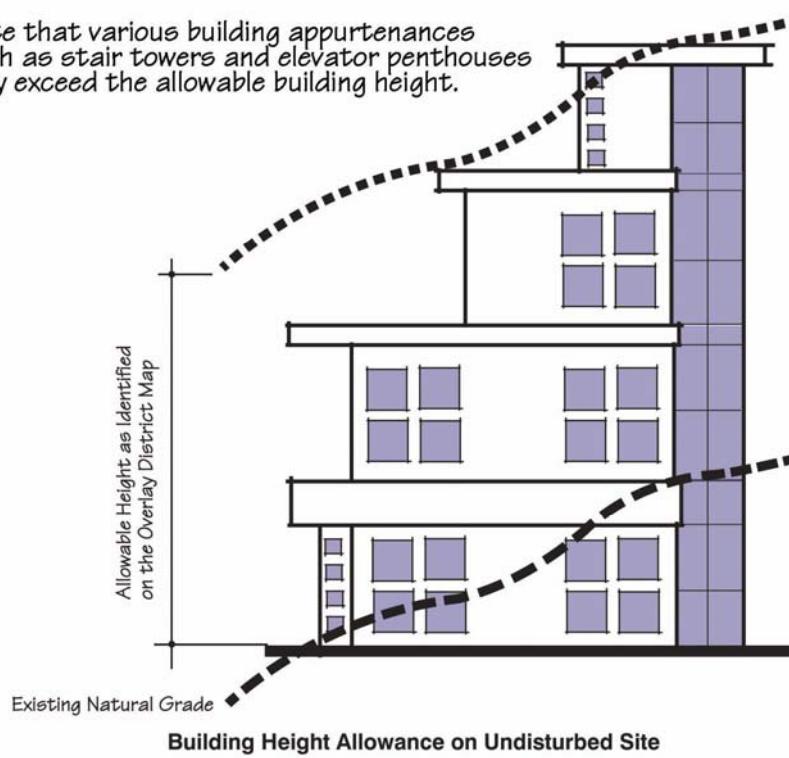
84 Maximum height of structures. Maximum height of structures is forty-five (45)
85 feet as measured in accordance with Figures 1 and 2. ~~unrestricted, except that~~

90 structures shall not interfere with Federal Aviation Administration regulations on airport
91 approaches.

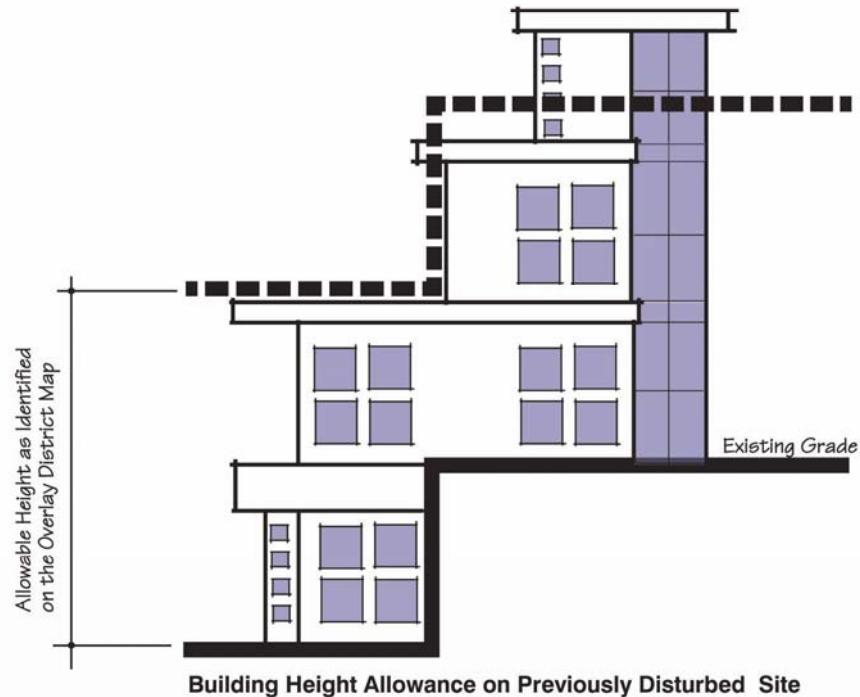
92 **Add the Following Sub-Paragraphs (1&2) to 21.40.130, Para. I, Maximum Height
93 of Structures as follows:**

- 95 1. Existing Grade: The elevation of base points for determining the building
96 elevation shall be based on existing grade, prior to construction for
97 undisturbed sites. On previously disturbed sites, the base grades
98 established by previous construction shall serve as the elevation basis
99 for new construction.
- 100 2. Height Exceptions: The height limitations contained herein do not apply
101 to spires and similar religious appurtenances, belfries, cupolas,
102 flagpoles, chimneys, antennas, rooftop mechanical equipment, stairwell
103 towers, elevator penthouses, parapets, firewalls, open or transparent
104 railings, solar reflectors, photovoltaic panels, skylights, miscellaneous
105 structures associated with rooftop gardens and other similar
106 appurtenances; provided they meet the following criteria:
 - 107 a. No area or appurtenance exceeding the allowable height
108 restriction may be used as occupied space or for storage.
 - 109 b. Appurtenances may not cover more than one-third the roof-top
110 area.
 - 111 c. Chimneys and Stairwells may exceed the height limitation by 15
112 feet.
 - 113 d. Elevator Penthouses may exceed the height limitation by 20 feet.
 - 114 e. Parapets walls and skylights may exceed the height limitation by
115 4 feet.

Note that various building appurtenances such as stair towers and elevator penthouses may exceed the allowable building height.



Building Height Allowance on Undisturbed Site



Building Height Allowance on Previously Disturbed Site

Measurement of Allowable Building Height

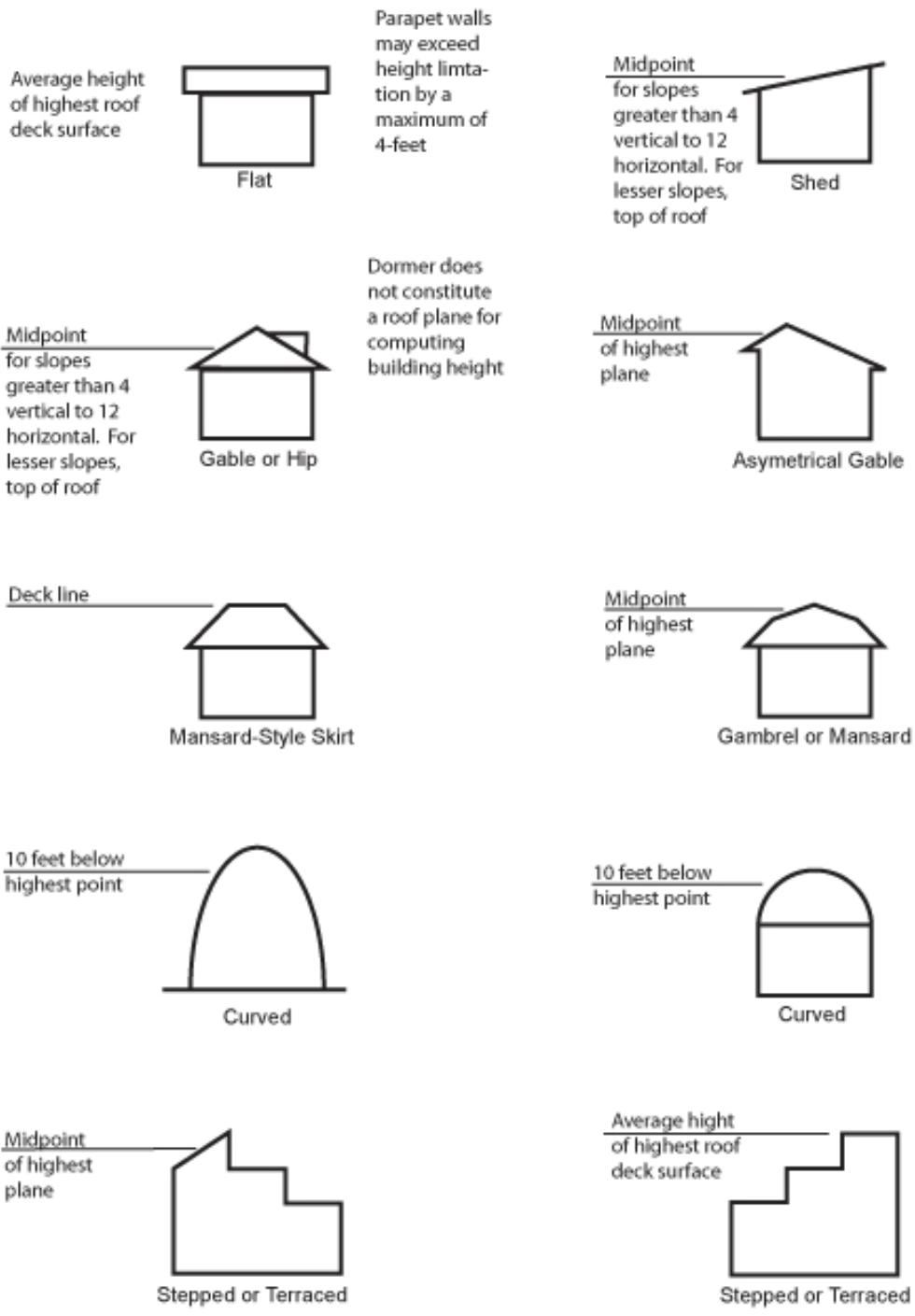


Figure 2. Building Height Measurement

126 **Changes to 21.40.180 B-3 General Business District.**

127

128 **Amend Section 21.40.180, Para. B, 1, b.**

129 b. ~~Self storage facility and vehicle storage subject to public hearing site plan review.~~

131

132 **Amend Section 21.40.180, Para. D, 6 & 11**

133 6. ~~Camper parks~~

134

135 **Amend Section 21.40.180, Para. D, Conditional Uses. Add the following:**

136 11. Storage of equipment limited to four pieces used for providing essential services needed within the Overlay District to include snow plowing, snow removal, parking lot clearing and property maintenance. All equipment storage areas shall be screened in accordance with the Design Standards section.

139

140 **Amend Section 21.40.180, Para. E, Prohibited Uses and Structures to add the following:**

143

144 6. Vehicle Sales and Rental, which includes outdoor display of motor vehicles

145 7. Self-Storage Facilities, which includes outdoor storage of fully operable vehicles.

147 8. Mobile Home or Manufactured House Display Lot

148 9. Natural Resource Extraction

149 10. Camper Parks

150

151 **Delete Section 21.40.180, Para. I, Maximum height of structures, and replace with the following:**

153

154 I. Maximum height of structures. Maximum height of structures shall be as identified on the Eagle River Overlay District Height restriction Map

156

157 **Changes to Chapter 21.55, Nonconforming uses of land and structures.**

158

159 **Amend Section 21.55.030 as follows:**

160 Where at the time of the original passage of applicable regulations , lawful use
161 of land existed which would not be permitted by the regulations thereafter imposed by
162 chapters 21.35 through 21.50, and subsequent overlay district amendments as
163 specified in Section 21.20.140 and where such use involves no individual structure
164 other than small or minor accessory buildings, the use may be continued so long as it
165 remains otherwise lawful, provided: .

166

167 **Amend Section 21.55.040 as follows:**

168 Where a lawful structure existed at the original effective date of adoption or
169 amendment of applicable regulations that could not be built under the terms of current
170 regulations set forth in chapters 21.35 through 21.50, and subsequent overlay district
171 amendments as specified in Section 21.20.140 by reason of restrictions on area, lot

172 coverage, height, yards, location on the lot, or other requirements concerning the
173 structure, such structure may be continued so long as it remains otherwise lawful,
174 subject to the following provisions:

175

176 **Amend Section 21.55.060 as follows:**

177 A. On any nonconforming structure or portion of a structure containing a
178 nonconforming use, work may be done in any period of 12 consecutive months on
179 ordinary repairs, or on repair or replacement of nonbearing walls, fixtures, wiring or
180 plumbing, to an extent not exceeding ten percent of the current replacement cost of
181 the nonconforming structure or nonconforming portion of the structure as the case
182 may be.

183

184 A. On any non-conforming structured or portion of a structure containing a non-
185 conforming use, work may be done within any three year period that does not exceed
186 fifty percent of the value of the existing structure, as determined by the Municipality of
187 Anchorage. Improvements that include repositioning the building or reconfiguring the
188 site are not allowed under this standard.

189

190 B. The standards herein do not apply to remodels that do not change the
191 exterior appearance of the building. However, improvements that include both interior
192 and exterior work shall be valued as the sum of all of the work.

193

194 Add the following Chapter:

195

196 **EAGLE RIVER OVERLAY DISTRICT DESIGN STANDARDS**

197 **1.1 INTENT**

198 The standards These standards augment existing standards within Title 21 and are
199 intended to implement the Chugiak-Eagle River Comprehensive Plan Update, 2006
200 and the Eagle River Central Business District Revitalization Plan, 2003. The
201 standards will protect property values; encourage visual variety and architectural
202 compatibility; and promote an integrated character for the Eagle River Community.
203 Specifically, the standards:

- 204 A. Promote residential and commercial development that is distinctive,
205 compatible with the town center of Eagle River, and provide a transition
206 between single family residential neighborhoods and the commercial core of
207 the town center.
- 208 B. Provide variety and visual interest in the exterior design of residential
209 buildings.
- 210 C. Promote a more pedestrian oriented city center
- 211 D. Promote commercial and public buildings that reflect a human scale of limited
212 height.

213 E. Promote a commercial design vocabulary compatible with our Alaskan setting
214 that can serve as a unifying theme.

215 **1.2 APPLICATION**

216 The planning director shall have the authority to require changes in project design to
217 meet these standards, and, pursuant to "Alternative Equivalent Compliance" to allow
218 deviation from certain standards of this chapter and modify the design standards and
219 guidelines as they apply to individual properties if necessary to allow for the
220 reasonable development of the site. Such design modifications shall not undermine
221 the intent of the design standards and guidelines.
222

223 **1.3 INTERPRETATION OF DESIGN STANDARDS AND GUIDELINES**

224 These design standards include both requirements and guidelines. Language that
225 indicates a required action includes the words:

- 226 • Shall
227 • Is or (in the plural case) Are Required
228 • Is or (in the plural case) Are Prohibited
229

230 Guidelines, which are included as voluntary measures, include the words:

- 231 • Should
232 • May
233 • Is or (in the plural case) Are Recommended
234 • Is Encouraged

235 **1.4 ALTERNATIVE EQUIVALENT COMPLIANCE (APPLIES ONLY TO
236 PERMITTED USES)**

237 An applicant may propose and the planning director, using the review process
238 described below, may allow an applicant to deviate from the design standards and
239 guidelines, provided the proposal satisfies the evaluation criteria of this subsection.
240 This process differs from the variance procedure in that rather than having the
241 approval based upon unusual circumstances or a physical hardship, such as steep
242 slopes, it is based upon the proposed design meeting or exceeding the intent of the
243 standard by an alternate method. This alternative process is intended to promote
244 creative design approaches which would result in equal or superior development than
245 strict adherence to the design standards, provided they meet the criteria established
246 herein. In evaluating such a proposal, the planning director, using the criteria
247 identified in Paragraph C of this subsection, shall have the authority to approve or
248 disapprove designs that seek alternative compliance.

- 249 A. What Can Be Modified: Aspects of property development which can be
250 modified include the core design standards and guidelines and building set-
251 backs.
- 252 B. What Cannot Be Modified: No other standards can be modified including the
253 following:

- 254 1. Building Height,
- 255
- 256 2. Uses permitted by the zone in which the property is located, and
- 257
- 258 3. Regulations for non-conforming uses,
- 259 C. Evaluation Criteria for Modification: Any proposal to modify development
- 260 standards or design guidelines shall not undermine the intent of the core
- 261 design standards and guidelines. The planning director shall not approve a
- 262 request for modification unless the proposal provides architectural and urban
- 263 design elements equivalent or superior to what would likely result from
- 264 compliance with the core design standards and guidelines which are proposed
- 265 to be modified. The planning director shall consider the following criteria in
- 266 evaluating proposals using this process:
- 267
- 268 1. The unique characteristics of the subject property and/or its surroundings
- 269 and how they will be protected or enhanced by modifying the design
- 270 standards
- 271
- 272 2. The positive characteristics of the proposed development and whether
- 273 such characteristics could be provided by compliance with the design
- 274 standards proposed to be modified.
- 275
- 276 3. The arrangement of buildings and open spaces as they relate to other
- 277 buildings and/or uses on the subject property and on surrounding
- 278 properties.
- 279
- 280 4. Visual impact to surrounding properties caused by parking facilities in the
- 281 proposed development and whether such impacts are less than would
- 282 result from compliance with the design standards proposed to be modified.
- 283
- 284 5. Does the proposed design mitigate the impacts that could be caused by the
- 285 proposed modification of the standards?
- 286 D. Pre-Application: An applicant proposing to use alternative equivalent
- 287 compliance under this section shall request and attend a pre-application
- 288 conference prior to submitting the site plan for the development, to determine
- 289 the preliminary response from the director. Based on that response, the site
- 290 plan application shall include sufficient explanation and justification, in both
- 291 written and graphic form, for the alternative compliance requested.
- 292 E. Formal Appeal of the Planning Director's Decision: An applicant may appeal
- 293 the planning director's decision. The Municipality of Anchorage Urban Design
- 294 Commission shall be the body authorized to approve or reject such an appeal.
- 295 An applicant must file a formal request and substantiating documentation to
- 296 schedule a formal hearing.

297 **1.5 RESIDENTIAL DESIGN STANDARDS**

298 A. Pedestrian Access

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300 1. Intent:

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302 a. To orient developments to the pedestrian by making pedestrian
303 access convenient, safe, and inviting

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305 b. To encourage walking within the core of Eagle River

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307 c. To enhance the character of development within core of Eagle River

308

309 d. To minimize impacts on residents privacy

310

311 2. Standards and Guidelines: An on-site pedestrian circulation system
312 meeting the following standards shall be provided for all multiple family
313 developments:

314

315 a. Pathways between dwelling units and the street are required per the
316 materials standards in paragraph 4 of this subsection. Such
317 pathways between the street and buildings fronting on the street
318 shall be a direct route. Exceptions may be allowed by the planning
319 director where steep slopes prevent a direct connection or where an
320 indirect route would enhance the design and/or use of a common
321 open space.

322

323 b. The pedestrian circulation system shall connect all main entrances
324 on the site. For townhouses or other residential units fronting on the
325 street, the sidewalk may be used to meet this standard. For
326 multiple-family developments, pedestrian connections to other areas
327 of the site such as parking areas, recreational areas, common
328 outdoor areas, and any pedestrian amenities shall be required.

329

330 c. Elevated external walkways and external stairways which provide
331 primary pedestrian access to dwelling units located above the
332 ground floor are prohibited. The planning director may allow
333 exceptions for external stairways or walkways located in, or facing
334 interior courtyard areas provided they do not compromise visual
335 access from the units into the courtyard.

336

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342 *Figure 3. Elevated external walkways and external*
343 *access stairways are prohibited.*

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351 d. Appropriate screening or buffering to create a physical separation
352 between pedestrians, vehicle access areas, and the windows of
353 residential units shall be provided. Acceptable treatments include
354 landscaped beds that separate the pathway from a building façade
355 with windows by a minimum of six feet and/or placement of windows
356 to maximize privacy while allowing for surveillance from dwelling
357 unit. For example where ground floor units are raised three or more
358 feet above the level of a walkway, pedestrians have limited views
359 into dwelling units.

- 360
361 3. Pedestrian circulation standards for multiple detached dwellings on one
362 development site:
363
364 a. Clear pedestrian access shall be provided between all dwelling units
365 and the street per the materials standards in paragraph 4 of this
366 subsection.
367

368 4. Material Standards for Pathways:

- 369
370
371
372
373 a. The pedestrian circulation system must be hard-surfaced and at
374 least five feet wide.
375
376 b. The pedestrian circulation system shall be clearly defined and
377 designed so as to be separated from driveways and parking /loading
378 areas. At least two of the following design features shall be used to
379 accomplish this:
380
381 • Raised curbs,
382 • Elevation changes,
383 • Bollards,
384 • Landscaping,
385 • Decorative Fencing

- 374 • Use of paving material other than asphaltic concrete, and
375 • Other methods, as approved by the Planning Director.

376
377 Striping does not meet this requirement. If a raised path is used it
378 must be at least four inches higher than adjacent paving with a
379 transition to the adjacent paving that will allow snow removal.
380 Bollard spacing shall be no farther apart than 10 feet on center.

- 381
382 c. No portion of the building roof may shed snow or meltwater onto the
383 pedestrian circulation system.

384 B. Open Space

385 1. Intent:

- 386 a. To provide accessible, safe, convenient, and usable on-site open
387 space for the enjoyment of residents of the development
388 b. To create open space that enhances the residential setting
389 c. To maintain some (not unlimited) views for adjacent residential
390 neighborhoods

391 2. Standards and Guidelines:

- 392 a. Multifamily buildings shall provide one hundred square feet of on-site
393 open space per dwelling unit. Acceptable types of open space
394 include:
395 1) Common open space: Where accessible to all residents,
396 common open space may count for up to one hundred percent of
397 the required open space. This includes landscaped courtyards or
398 public decks, front porches, gardens with pathways, children's
399 play areas, or other multi-purpose recreation and/or green
400 spaces. Requirements for common open spaces include the
401 following:
402 a) Required setbacks and parking areas shall not count
403 towards the open space requirement, except for spaces that
404 meet the dimensional and design requirements and
405 guidelines herein.
406 b) Space shall be large enough to provide functional leisure or
407 recreational activity. To meet this requirement, no
408 dimension shall be less than fifteen feet in width (except for
409 front porches or balconies). Alternative configurations may
410 be considered by the planning director where the applicant

- 419 can successfully demonstrate that the common open space
420 meets the intent of the standards.
- 421
- 422 c) Spaces shall include pedestrian amenities, to include at
423 least two of the following:
- 424
- 425 • Paths,
426 • Lighting,
427 • Seating,
- 428
- 429 The installation of play equipment in common open space
430 shall fully meet this requirement without installation of other
431 amenities.
- 432
- 433 d) Common space shall be separated from ground floor
434 windows, streets, service areas and parking lots with
435 landscaping, low-level fencing, and/or other treatments as
436 approved by the planning director that enhance safety and
437 privacy.
- 438 2) Front porches qualify as common open space provided the porch
439 has an area of at least 35 square feet and no dimension is less
440 than 6 feet.
- 441 3) Other Spaces: Decks, patios, covered private balconies, and
442 covered porches (smaller than identified in 2), above) may be
443 used meet up to fifty percent of the required open space. To
444 qualify as open space, such spaces shall have no dimension less
445 than four feet.
- 446
- 447 b. Attached single family units (townhouses or site condominiums) and
448 duplexes: Attached single family uses and duplexes shall meet the
449 on-site open space requirements per paragraph a of this subsection,
450 except that private patios or landscaped areas directly adjacent and
451 accessible to each unit may be used to meet one hundred percent of
452 the on-site open space requirements.
- 453
- 454 c. Detached single family uses: Detached single family uses shall
455 provide at least three hundred square feet of private yard space
456 adjacent to each unit. Areas less than 15 feet in width shall not be
457 counted in this total.
- 458 C. Design Standards for Single and Two-Family Residential Structures
- 459
- 460 1. Intent:
- 461

- 462 a. To reduce dominance of garages as part of residential design on
463 Eagle River streetscapes



464 *Figure 4. Partial Intent of the Residential Design Standards is to Reduce*
465 *the Dominance of Garages and Blank Facades.*

- 466
- 467 b. To encourage the incorporation of pedestrian scale design details
468 into building facades
- 469
- 470 c. To promote architectural variety that adds visual interest to Eagle
471 River core neighborhoods

472 2. Standards and Guidelines:

- 473
- 474 a. Housing Mix: Any development of five or more units shall have a
475 mix of housing models.
- 476 1) 5-10 Units 2 Models
- 477 2) 10-30 Units 3 Models
- 478 3) More than 30 Units 4 Models
- 479
- 480 b. The development shall be arranged to avoid placing identical
481 housing types, including Mirror-image floor plans on adjacent lots.
482 Each housing model shall have at least two of the following
483 variations:
- 484 1) Noticeably different floor plans
- 485 2) Noticeably different placement of the building footprint on the lot
- 486 3) Noticeably different garage placement
- 487 4) Noticeably different rooflines
- 488
- 489 c. Garage doors facing the street shall comprise no more than 65% of
490 the total length of a dwellings façade and no more than 30% of the
491 overall square footage of the dwelling's front façade that faces the
492 street. Single story homes are exempted from the overall square
493 footage limitation. Dwelling units with garage doors that face the
- 494

- 495 street and comprise more than 50% of the width of the façade shall
496 be articulated forward or back from other portions of the front façade
497 by at least 4 feet.
- 498
- 499 d. Windows: Transparent windows or doors facing the street are
500 required. Buildings must have a minimum of 15% of the façade
501 facing the street composed of transparent windows.
- 502
- 503 e. Details: All Residential buildings shall be enhanced with at least
504 three of the following details on the primary façade.
- 505 1) For double garages, provide two individual garage doors rather
506 than a single double-wide door
- 507 2) Prominent front entrance distinguished by a separate roof, double
508 doors, focal stairs or deck, fenestration, decorative porch design,
509 or other means as approved by the planning director
- 510 3) Decorative roof line to include multiple dormers, hip roofs, and
511 multiple rooflets
- 512 4) Decorative use of building material, textural variation, and color to
513 include shingles, tile, stone, wood siding, and other materials as
514 approved by the planning director.
- 515 5) Decorative molding and framing details to include exposed
516 decorative trusses, special moldings for attic and roof peak vents,
517 Balconies, and decorative or unique moldings for windows and
518 doors
- 519 6) Use of trellises, decorative retaining walls, or other elements as
520 approved by the planning director that help to integrate the
521 building to the site
- 522 7) Other elements that meet the intent of the standards and as
523 approved by the planning director



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525

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Figure 5. Details that enhance the primary facade

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D. Standards for Zero-Lot-Line, Townhouse Residential Development, and Multi-Family Development

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530

1. Building articulation and architectural variety:

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- a. No more than six (6) townhouse units may be attached in a single row or cluster.

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- b. The building, which is the aggregation of up to 6 townhouse units, shall be given architectural and visual interest through at least three of the following methods:

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- 1) Repeating distinctive window patterns at intervals less than 25 feet on center
- 2) Vertical Building Modulation: Building modulation is a repeated pattern of changes in plane or articulation along the length of a building façade. The minimum depth and width of modulation is 18 inches for depth and 4 feet for width if the vertical modulation is coordinated with a change in color, texture, or roofline (see Figure 7). If there is no change in color, texture, or roofline, the minimum depth is 4 feet and the minimum width is 10 feet (see Figure 8). The maximum distance between modulations is 30 feet. Balconies may be counted as modulation if they are either recessed or extended from the main façade in accordance with the dimensions identified above.



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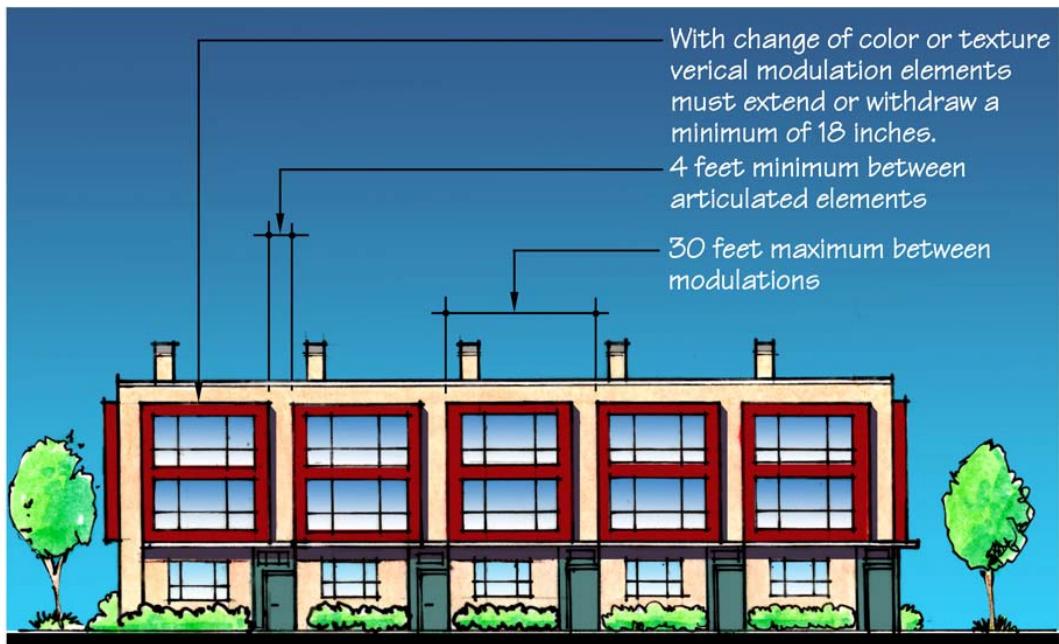
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Figure 6. Horizontal and Vertical Modulation

- 3) Articulation of the building's top, middle, and bottom: This calls for a ground floor that is distinctive from the middle floors of the building and a top floor that is distinguished by changes in roofline, materials, texture, or fenestration (window placement).
- 4) Horizontal Modulation: (either a step-back or extension of the building along a horizontal line), minimum horizontal modulation is 4 feet.
- 5) Change in building material or siding style (may be coordinated with vertical or horizontal modulation). Use of different materials, such as wood siding, shingles, metal siding, Stucco or EFIS (Exterior Finish and Insulation System), stone, tile, or other materials or texture as approved by the planning director.
- 6) Use of sloped roofs or change in roofline. To qualify, sloped roofs must have a minimum slope of 4:12 (vertical to horizontal). The use of gables, hips and other changes in the slope are encouraged. See Figure 9. For buildings with flat roofs, or a combination of flat and sloped roofs, the roofline shall be modified by a minimum of 1/10th of the wall height. The change in roofline shall occur at a frequency of no greater than 30 feet as measured horizontally on the front façade. See Figure 10.
- 7) Other methods, as approved by the planning director that reduce the scale of multi-family buildings or add visual interest.

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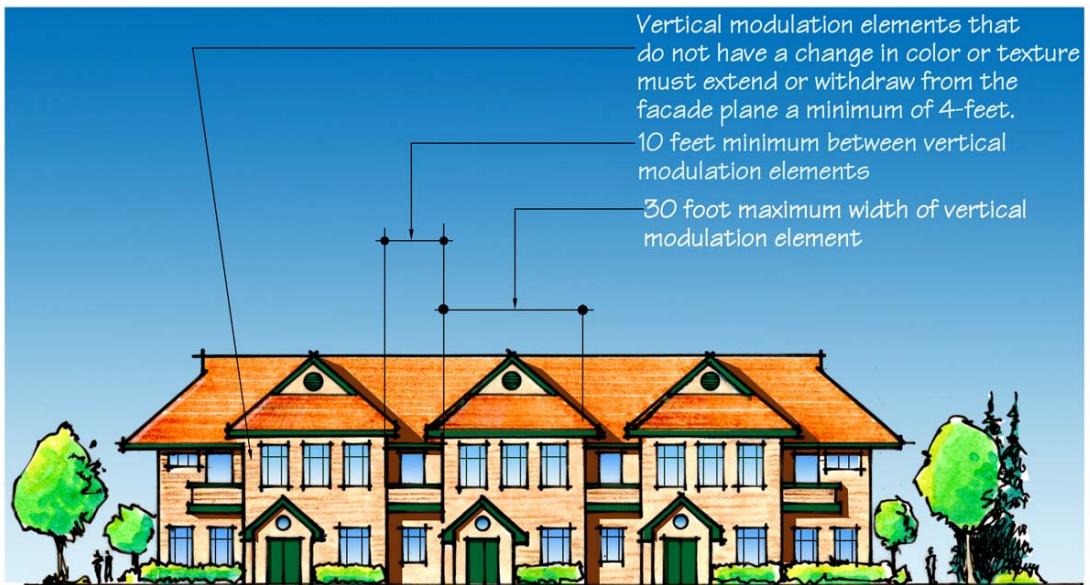


Modulation with Change of Color or Texture

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Building Modulation for Buildings Without Changes in Color or Texture

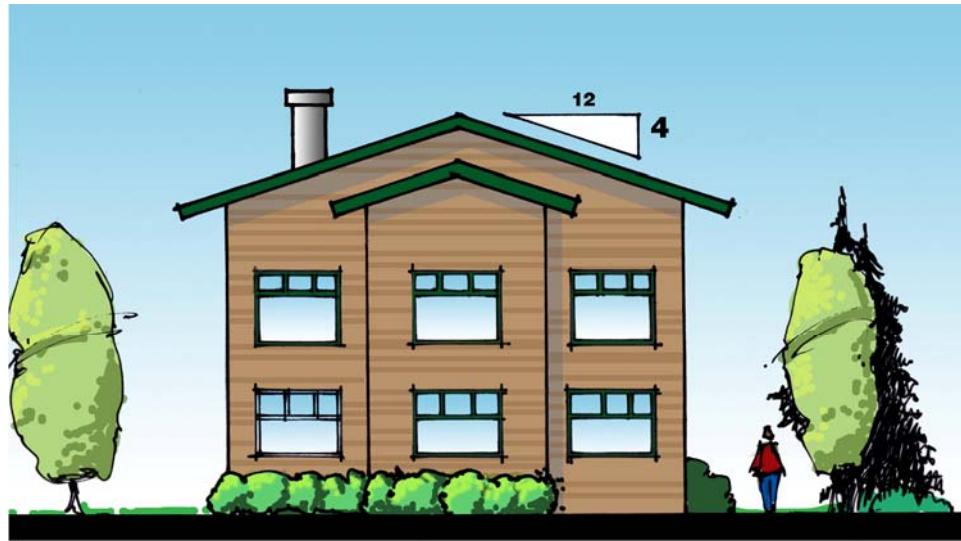
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Figure 7. Modulation Requirements for Residences with Changes in Color and Texture.



USE OF SLOPED ROOFS

To Qualify, use of sloped roofs must have a minimum slope of 4:12 (vertical to Horizontal). the use of gables, hips and other changes in the slope are encouraged.

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584

Figure 9. Use of Sloped Roofs



FLAT ROOFS OR COMBINATION OF FLAT & SLOPED ROOFS

For buildings with flat roofs or a combination of flat and sloped roofs, the roofline shall be modified by a minimum of 1/10th of the wall height. This change in roofline shall occur at a frequency of no greater than 30 feet, as measured horizontally on the front facade.

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586

Figure 10. Changes in Roofline for Flat Roofs

587 **1.6 COMMERCIAL DESIGN STANDARDS**

588

589 The following commercial design standards are intended to implement
590 recommendations of the Eagle River Central Business District Revitalization Plan,
591 approved in 2003.

592 A. Building Orientation and Pedestrian Access

593

594 1. Intent

- 595 a. To ensure that commercial buildings add to the liveliness of streets
596 and the overall community character by making buildings, pedestrian
597 spaces and landscaping more prominent than parking lots and free-
598 standing signs.

- 599 b. To encourage walking within the core of Eagle River

600

601 2. Standards and Guidelines:

602

- 603 a. Distance from the Street: All new commercial buildings within the
604 Eagle River Overlay District, that front on the Old Glenn Highway,
605 Business Boulevard, or Eagle River Loop Road shall be set back not
606 more than 20 feet from the public right-of-way.

607

- 608 b. An on-site pedestrian circulation system meeting the following
609 standards shall be provided for all new commercial development:

610

- 611 1) Pathways between individual commercial developments and the
612 street are required per the materials standards in paragraph c of
613 this subsection where buildings are not directly adjacent to the
614 public sidewalk. Such pathways shall form a direct connection
615 between the street and buildings fronting on the street.
616 Exceptions may be allowed by the planning director where
617 conditions merit other consideration;

618

- 619 2) The pedestrian circulation system shall connect all main building
620 entrances on the site. For commercial buildings with multiple
621 entrances to individual retail stores, the community sidewalk may
622 be used to meet this standard;

623

- 624 3) Elevated external walkways and external stairways which provide
625 pedestrian access to commercial units located above the ground
626 floor are prohibited. The planning director may allow exceptions
627 for external stairways or walkways located in, or facing interior
courtyard areas.

628

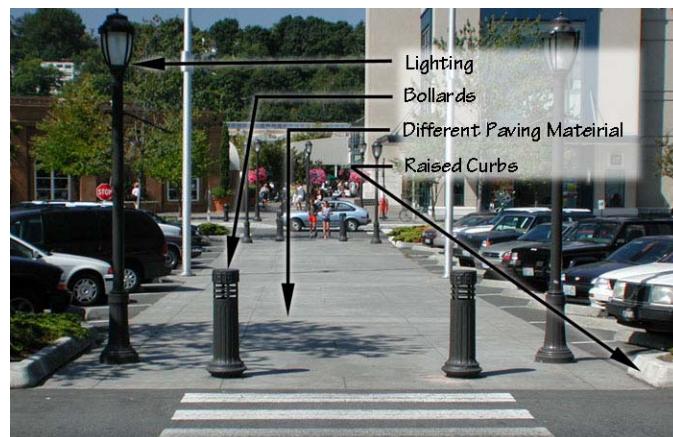
629 c. Material Standards for Pathways:

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- 631 1) The pedestrian circulation system must be hard-surfaced and at
least six feet wide;

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- 2) The pedestrian circulation system shall be clearly defined and designed so as to be separated from driveways and parking/loading areas through the use of at least two of the following design features:
- Raised Curbs,
 - Elevation Changes,
 - Bollards,
 - Landscaping, and
 - Paving materials other than asphaltic concrete

If a raised path is used it must be at least four inches higher than adjacent paving with a transition to the adjacent paving that will allow snow removal.

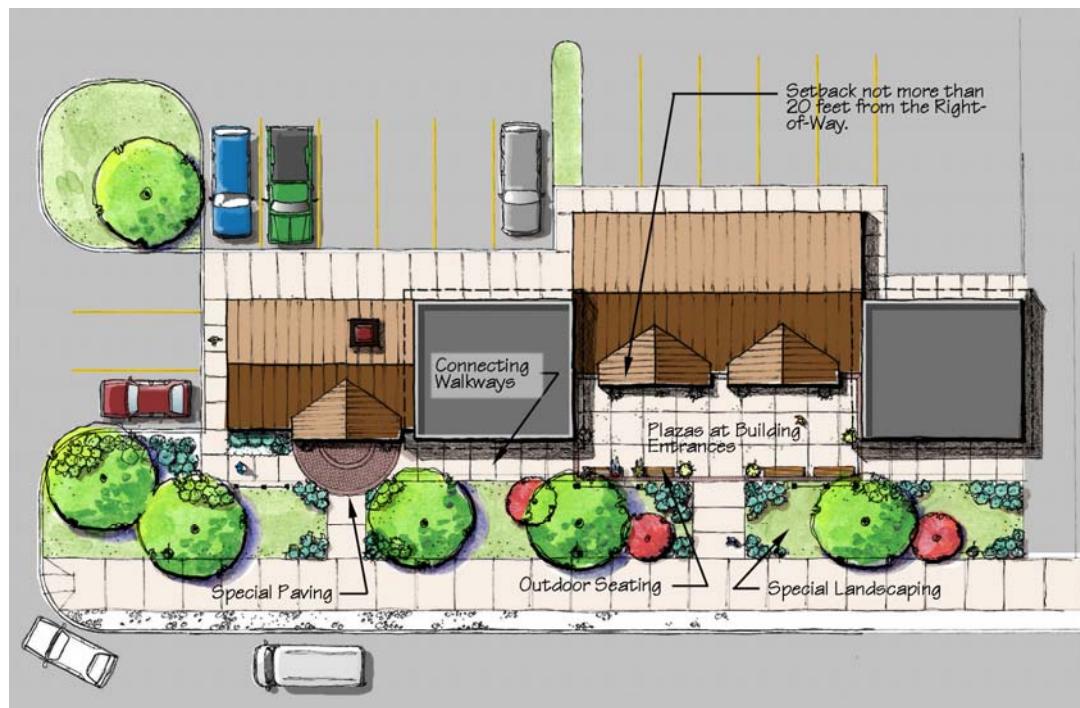


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Figure 11. Pedestrian Walks Should be Clearly Delineated From Adjacent Parking Areas

- 3) Pedestrian connections shall be illuminated with pedestrian scale lighting, no higher than, 14 feet, meeting the requirements of the Municipality of Anchorage Design Criteria Manual; and
- 4) No portion of the building roof may shed snow or meltwater onto the pedestrian circulation system.
- d. Plazas and Other Open Spaces (See Figure 12):
- 1) New or renovated buildings shall have plazas, courtyards, or other pedestrian spaces at or near their main entrances. At a minimum, these spaces shall be sized at a rate of 1 square foot of plaza/courtyard per 100 square feet of building area.
 - 2) Plaza/pedestrian spaces shall include at least three of the following:

- 665 a) Permanent special interest landscape that exceeds the
666 requirements of AMC 21.45.125 by at least 10%
667 b) Special paving, to include colored/stamped concrete, brick,
668 stone, or other unit pavers;
669 c) Public Art with a valuation of at least on-half of 1% of the
670 total construction cost;
671 d) A coordinated set of site furnishings used throughout the
672 site and included in the plaza area, that includes benches,
673 trash receptacles, bike racks and may include tables. Site
674 furnishings shall be commercial grade and fabricated of
675 durable and weather resistant materials
676 e) Other elements that meet the intent of the standards and as
677 approved by the planning director
678
679
680



Commercial Development, Plan View

681 *Figure 12. Examples of Plaza Improvements*
682

683 B. Building Design

684

685 1. Intent:

686

- 687 a. To ensure that commercial buildings add to the liveliness of streets
688 and the overall community character.

689

- 690 b. To create a design vocabulary that helps to establish continuity
691 within the Eagle River core area.

692

693 2. Building Entrances:

694

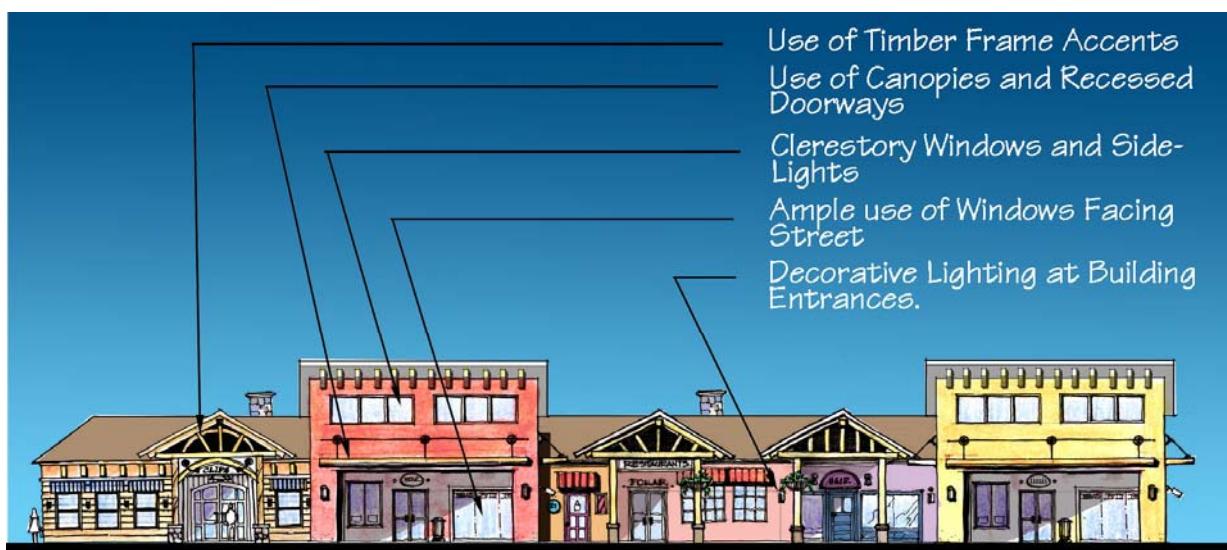
- 695 a. The principal building entry shall be prominently visible from the
696 street and marked by at least one element from each of the following
697 groups:

698

699 1) Group A, Articulation:

700

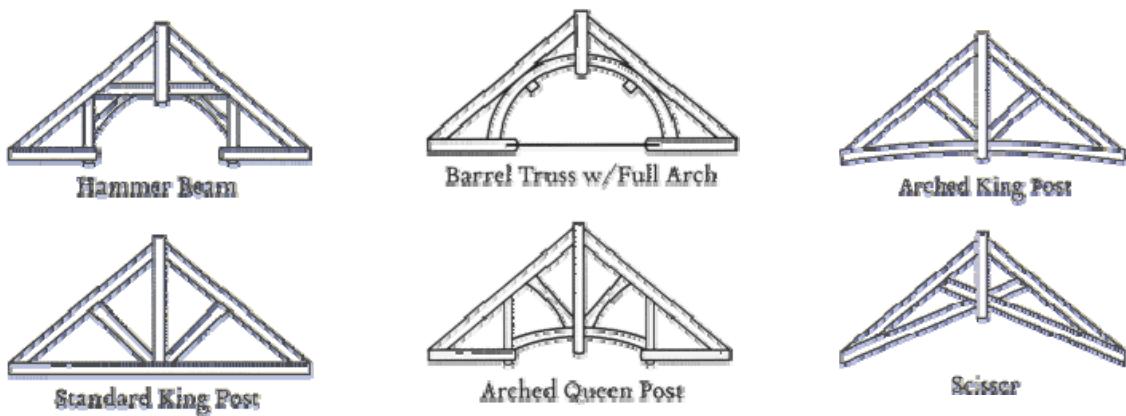
- 701 a) Recess of at least three feet
702 b) Overhang extending at least 5 feet
703 c) Canopy extending at least 5 feet
704 d) Portico extending at least 5 feet
705 e) Porch protruding at least 3 feet
706 f) Other elements that meet the intent of the standards and as
707 approved by the planning director



Commercial Development, Front Elevation

708 *Figure 13. Commercial Building Articulation, Entrance and Material Treatments.*
709

- 710 2) Group B, Fenestration & Lighting:
- 711 a) Clerestory Window
- 712 b) sidelights (clear glass windows flanking the entry)
- 713 c) Ornamental light fixtures flanking the entry that are unique to
714 the entry
- 715 d) Double entry doors
- 716 e) Other elements that meet the intent of the standards and as
717 approved by the planning director
- 718
- 719 3) Group C, Materials
- 720 a) Exposed timber or log columns and trusses for overhangs,
721 canopies, and porticos with stained wooden soffits
- 722 b) Special paving at entry (see paragraph 1.6, A, 2, d, 2), a),
723 *Plazas and Other Open Spaces*
- 724 c) Other elements that meet the intent of the standards and as
725 approved by the planning director
- 726
- 727



728 Figure 14. Examples of Exposed Timber Trusses

729

730

731



732 Figure 15. Wood Porticos and Canopies are Desired Features

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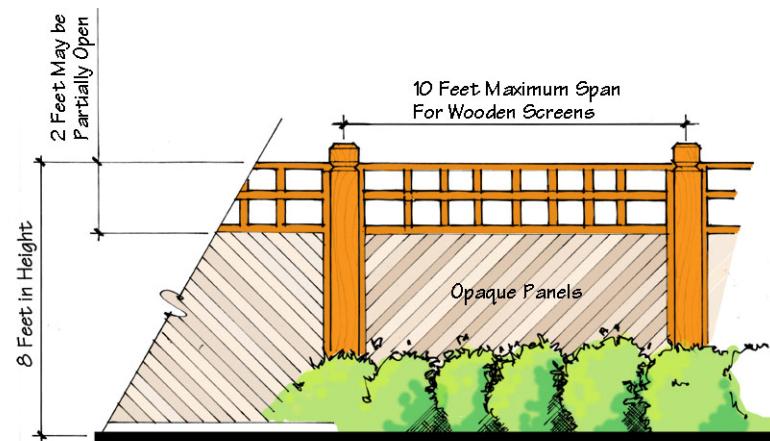
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735

736

- 737 3. Ground Floor Transparency:
- 738
- 739 a. A minimum of 60% of any ground floor façade (the portion of the
740 façade between 2 and 12 feet above grade) facing the Old Glenn
741 Highway, Business Boulevard, or Eagle River Loop Road shall be
742 comprised of windows with clear glass allowing views into the
743 interior of the building. Display windows may be used to meet half of
744 this requirement.
- 745
- 746 b. A minimum of 15% of any ground floor façade parallel to any street
747 other than those named in paragraph a, above, shall be clear glass
748 allowing views into the interior of the building.
- 749
- 750 4. Building Massing and Articulation:
- 751
- 752 a. Buildings shall include horizontal and vertical articulation along the
753 facades parallel to public streets.
- 754
- 755 b. Horizontal facades higher than a single story and longer than 100
756 feet shall be modulated above the ground floor into smaller units at
757 intervals of no more than 30 feet. Modulation shall be accomplished
758 through at least two of the following methods:
759 1) Changes in roof form,
760 2) Changes in depth of at least two feet for a width of at least 8 feet
761 3) Changes in materials or texture
- 762 C. Screening
- 763
- 764 1. Intent:
- 765
- 766 a. To screen utilitarian elements, such as mechanical equipment,
767 refuse collection receptacles (dumpsters), and service areas from
768 public view
- 769
- 770 2. Items That Require Screening:
- 771
- 772 a. Roof top mechanical equipment
773 b. Outdoor storage areas used in connection with trade, service or
774 manufacturing activities that do not constitute retail display.
775 c. Snow removal and maintenance equipment storage
776 d. Storage of recreational vehicles for longer than 48 hours
777 e. Refuse collection receptacles (dumpsters)
- 778
- 779 3. Screening Requirements:
- 780
- 781 a. Roof-top mechanical equipment: Roof top mechanical equipment

782 shall be placed in such a way that it is not visible from public streets.
783 It may be screened by parapet walls for flat roofed buildings, or it
784 may be enclosed in an attic for buildings constructed with sloped
785 roofs. The placement of chillers or other mechanical equipment on
786 grade shall have sight-obscuring screening, 6 feet in height.
787 b. Items b, c, and d above require screens that are 8 feet in height and
788 must be opaque for 6 of the 8 feet (see figure 16). Screens may be
789 constructed of masonry, wood, metal, or may use the same building
790 material used for the exterior of an adjoining building. Screens that
791 are more than 25 feet in length must be articulated. Articulation can
792 be accomplished by clearly delineating between posts and panels
793 with a change in depth of 1 inch or greater or a change in materials.
794 The use of Chain-link fencing and unfinished plain concrete masonry
795 units is prohibited. Use of Landscaping, where room allows is
796 encouraged.
797



Screening Requirements for Outdoor Storage Areas

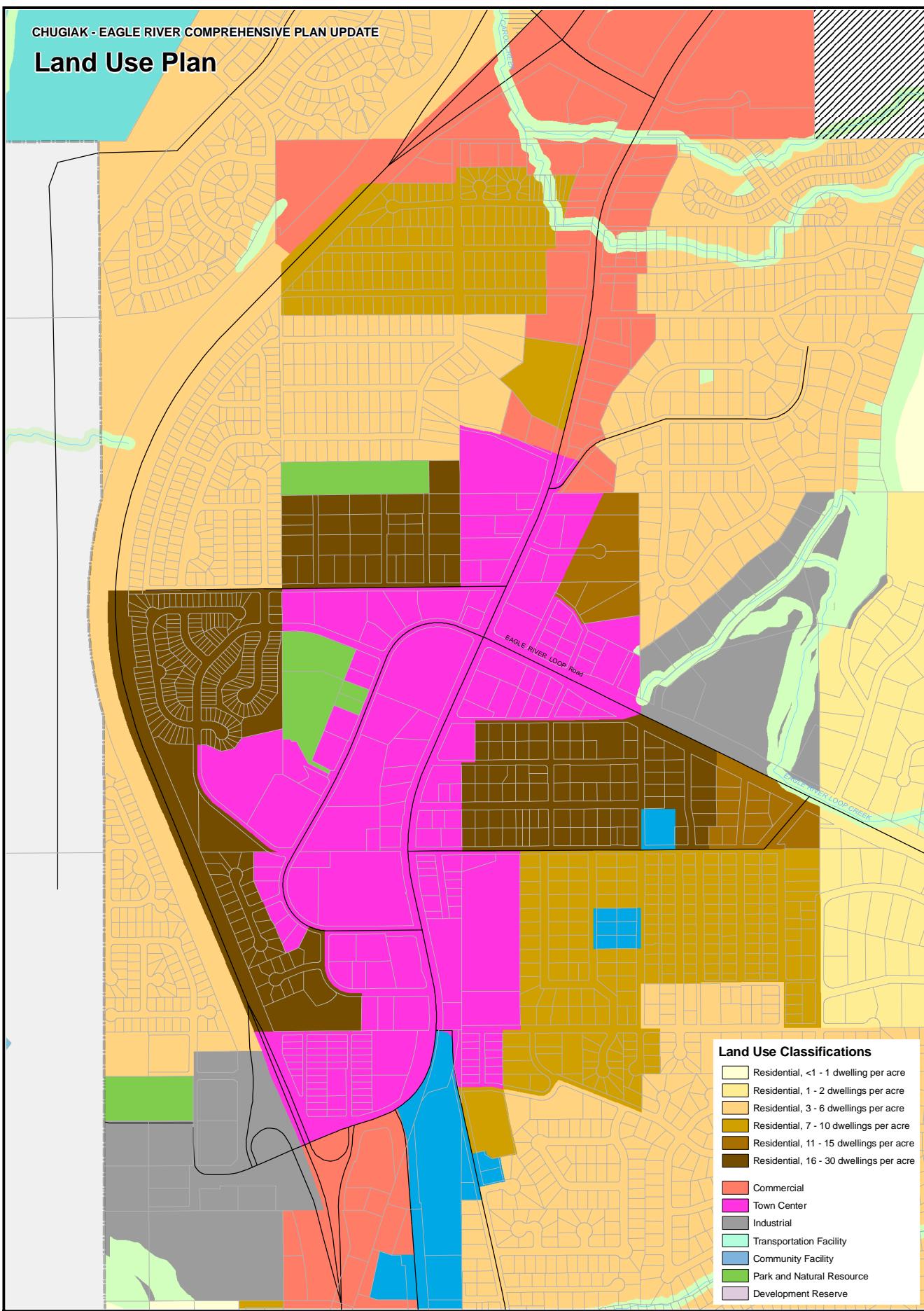
798
799 *Figure 16. Example of Acceptable Required Screening for Storage*
800 *Areas.*
801
802 c. Refuse Collection Receptacles (Dumpsters): Each refuse collection
803 receptacle shall be screened from view on three sides by a durable
804 sight-obscuring enclosure consisting of a solid fence or masonry wall
805 six feet in height. Coordinating the materials used in the screen with
806 the materials and colors of the associated building is encouraged.
807 The use of Chain-link fencing and unfinished plain concrete masonry
808 units is prohibited.
809
810
811

812 Effective Date and Severability: This ordinance shall be effective upon passage and
813 approval, and the Director of the Department of Community Planning and
814 Development shall change the zoning map accordingly. Should any section, clause, or
815 provision of this ordinance be declared by a court to be invalid, the same shall not
816 affect the validity of the ordinance as a whole or any part thereof, other than the part
817 so declared to be invalid.

818

819 Passed and approved by the Anchorage Assembly this date xxxxxxxx

Land Use Plan



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