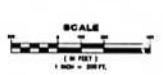


- NOTES**
- The bearings shown herein are based upon bearings as obtained in the Book of Bearings and distances are reduced to horizontal ground distances.
 - Distance discrepancies, due to rounding, of 0.01' may be noted herein.
 - Right of Way widths are to the exact feet shown (50' = 50.000').
 - There shall be a stream protection easement conforming to AMC 21.45.210 along all streams and their tributaries.
 - Future development may require setback easements for the Drainage Ways shown on this plan.
 - This plan contains Class "A" wetlands. Any proposed activity within wetlands must be authorized by the U.S. Army Corps of Engineers, Regulatory Branch.
 - Public Use Easements are being provided for the benefit of the undeveloped properties to the east. Road Improvements will be determined by Project Management & Engineering when development is requested.
 - This is a Floating Public Use Easement. The Easement will be permanently located when a road is access undeveloped property to the east is constructed.
 - The planned easement is a private access for the following properties: Lot 2 and the SE 1/4 NW 1/4 Section 21, T12N, R12E, S4E and the NW 1/2 Lot 3, Section 21, T12N, R22E, S4E and the SE 1/2 Lot 3, Section 21, T12N, R22E, S4E. The easement will be deemed to continue to be utilized by the said properties for as long as the properties remain undeveloped and alternate physical and legal access to the properties does not exist. Upon subdivision of any one of the properties, a new road to the undeveloped property must be built to maintain standards utilizing the public use easement(s) dedicated by the site for this purpose. Use of the planned easement will terminate automatically terminate on those portions of the tract where access is now being provided by the newly constructed road(s).
 - There are existing electric facilities located under an Easement recorded in Book 182K, Page 384, not being dedicated by this plan. There are existing electric facilities located under a General Easement recorded in Volume 97, Page 283, not being dedicated by this plan.
 - CEA has existing electric facilities located within the road right-of-way area being dedicated by this plan. The use of the portion of the right-of-way is subject to the prior rights of CEA. If the use of this portion of the dedicated right-of-way interferes with or requires these facilities to be relocated, the cost of the relocation will be the responsibility of the party or parties causing the relocation.
 - Fifteen feet (15') wide natural gas easements centered on the existing Eastern Natural Gas Company gas mainlines known as 81-1742 and 82-3144 and shown on their drawings 430402, 430403 and 431414 are being dedicated by this plan.
 - Drainage Right of Way, State of Alaska Statute No. 15.1715 per State of Alaska permit no. 5207, is being dedicated by this plan.
 - Access Drive and Heights Hill Road are being dedicated by this plan.

- LEGEND**
- Found BM/BLD Aluminum or Brass Cap Monument
 - Found Aluminum or Brass Cap Monument
 - Found Rebar with Aluminum or Plastic Cap
 - Found 1/2" or 3/8" Rebar
 - Found Iron Pipe
 - Set 5/8"x30" Rebar with 2" Aluminum Cap
- 2833.87 Measured
 (2840.00' BLM) Bureau of Land Management Record
 (1322.00' RCV/NOH) Record Par Plat No. 2004-91
 (2643.70' BLD) Record Par Plat No. 78-203
 (2638.00' SS) Record Par Plat No. 68-43
 (2641.50' MAE) Record Par Plat No. 72-81
- Stream, See Note No. 4
 - Drainage Way, See Note No. 5
 - Class A Wetlands, See Note No. 6
 - T & E Easmt. Telecommunications & Electric Easement

CURVE TABLE

CURVE	DELTA	CHORD	LENGTH	CHORD BEARING	CHORD BEARING
C1	37°23'08"	848.56	268.76	151.11	841.40
C2	8°11'52"	2800.00	232.44	448.39	447.54
C3	10°54'04"	2300.00	238.37	470.70	474.96
C4	8°11'52"	440.00	292.87	514.84	487.73
C5	14°27'14"	440.00	183.42	284.48	285.13
C6	18°51'20"	440.00	77.01	192.44	181.72
C7	7°07'28"	240.00	162.72	238.48	236.66
C8	28°08'58"	648.00	131.07	238.48	235.73
C9	22°03'53"	720.00	220.37	312.58	282.47
C10	10°12'51"	720.00	173.58	282.47	282.47
C11	28°07'58"	280.00	141.83	238.47	236.72



PLAT OF
SECTION 36 SUBDIVISION
 TRACTS 1, 2, 3, 4 & 5
 A SUBDIVISION OF SECTION 36, T12N, R22E, S4E, ALASKA
 P.L.D. 2004 AND CLARENCE ROAD RIGHT OF WAY PER STATE OF ALASKA PATENT 5207 AND 10154

LOCATED WITHIN
 SECTION 36, TOWNSHIP 12 NORTH, RANGE 2 WEST,
 BEAR RIVER, ANCHORAGE BOROUGH, ALASKA
 CONTAINING 841.000 ACRES

ASTS LLC
 SURVEY & MAPPING

DATE: 1/2008 SCALE: 1" = 300'
 DRAWN: JRM/MSJ SHEET: 3 OF 3
 CHECKED: MJC P.L.D. No. 5207 AND 10154